



*Balboa Village
Design Guidelines
Adopted*

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City of Newport Beach

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i Introduction

The Balboa Design Guidelines address physical improvements to private property which will enhance village character. The Guidelines supplement the Specific Plan District Number 8, Central Balboa, by replacing the Design and Development Guidelines, Section 20.45.025.

The primary approach to establishing the new Guidelines lies in the recognition that Balboa's form and character has evolved over the past 90 years, has many positive attributes, and that improvements to existing buildings and new construction can enhance village appearance by respecting Balboa's eclectic mix of styles and character.

The Guidelines are applicable to all building improvements within Balboa Village. They will be considered in the permit review and approval process to encourage high quality design and creativity.

The following types of improvements are exempt from these Design Guidelines:

- Individual Single Family Residential and Residential duplexes
- Maintenance Activities which do not alter exterior appearances
- Underground Construction which does not alter above grade appearances.

- Interior Improvements which do not alter exterior appearances

The Guidelines are organized into four major sections:

- The description of the program for major infrastructure improvements;
- The definition of village character in respect to physical form and activities;
- The definition of design principles applicable to Balboa which offer a common framework to enhance village character, and
- The definition of the design guidelines according to Site Design and Building Design, with separate sections addressing improvements to existing buildings and construction of new buildings.

The Guidelines should be employed as a basis for the creative design process, involving the applicant and City staff in a dialogue to achieve appropriate design solutions. The guidelines are not quantitative standards and therefore are subject to interpretation.



I. Emerging Character

The City of Newport Beach is implementing a public improvement program for Balboa Village. A combination of public and private renovations are required to transform Balboa Village from its present state into an attractive and welcoming place full of vital and successful businesses.

A. Public Role

The City of Newport Beach is implementing a public improvement program for Balboa Village. The Village Plan, as illustrated in **Figure 1**, provides an overall vision of the renovation. It shows the major improvements to streets, sidewalks, parking lots, park and walkways, and the addition of street trees and other landscaping. All of these improvements intend to reinforce village scale and character.

A vital characteristic of the village is pedestrian spaces. These include sidewalks and walkways which are attractive, wide enough for people to feel comfortable, shaded by trees, and that give access to attractive, well-designed stores, restaurants and businesses. The combination of new street trees, store-front plantings and colorful paving patterns will all contribute to making these vital pedestrian spaces.

The connection of parking to the village is another vital characteristic to be improved. The existing pier parking lot is redesigned to provide more short-term parking adjacent to the village on Ocean Front. In addition, walkways along Palm, Washington and Main will be continued into the parking lot, with landscaping, such that pleasant and direct pedestrian routes connect parking to the village. Essentially, the village grid of streets is continued into the parking lot.

To provide more short-term parking within the village, Bay Avenue is modified to provide additional on-street parking.



Other sites between Balboa Boulevard and Bay will also provide increased parking. Even with a reduction of parking spaces on Balboa Boulevard in order to widen sidewalks, there will be an overall gain in parking and in particular short-term spaces adjacent to and within the village.

The renovation of Peninsula Park will create an attractive village green with an outdoor performance space surrounding the existing bandstand. The village green is a major entrance to the village at Main Street, and is an important meeting and gathering place. The addition of seating and landscaping will further encourage these activities. The combination of Balboa Theater and the Peninsula Park performance space will greatly expand Balboa's role as a culture and arts center on the Peninsula.

Balboa Pier Plaza is part of the renovation program and will provide a pleasant plaza with comfortable seating, shade trees and colorful planters to mark the foot of historic Balboa Pier.

B. Private Role

Improvements to buildings and storefronts are an equally important part of the overall renovation program.

The Design Guidelines are provided to ensure that private sector actions are carried out in a coordinated manner which is directed toward retaining village scale and character and upgrading facade appearance. Whether the renovation is to incorporate landscaping into a facade, conduct maintenance such as exterior painting, or to carry out a full face-lift, these efforts should be implemented in accordance with the Guidelines. The end result should provide improvements which are compatible in scale, size and appearance with village character, are attractive and functional, are respectful of Balboa's past, and employ creative design solutions.

II. Village Framework and Character

A. Framework

Balboa Village, between bay and beach on the Balboa Peninsula, is a small town commercial district in Newport Beach. In recognition of this setting, Balboa's architectural heritage evolved to reflect seaside themes. Most prominent are the Balboa Pavilion and Balboa Inn, both on the National Register of Historic Places, which anchor the bay and beach ends of Main Street. The Pavilion has Victorian detailing in its ornate cupola and wood details, and has over time become an icon for Balboa. The Inn is Spanish Colonial Revival, with tile roof, towers, arched arcades and masonry

details. In between, individual buildings reflect an eclectic mix of architectural styles (Art Deco, Balboa Beach Cottage, Main Street commercial), some more successfully than others. The existing ground plan (Figure 2) of Balboa Village combines many of the elements found in traditional villages: narrow streets, small blocks, small lots with narrow frontages, building walls lining the sidewalk which define street space, open shop fronts, mix of commercial and residential uses, a village green (Peninsula Park) and a tree-lined Main Street. Add to this elements unique to Balboa: bayfront promenade (Edgewater) lined with boats, docks and funzone, oceanfront boardwalk (Oceanfront Walk), and Balboa Pier, another of the villages historic landmarks. Views of beach, bay and distant mountains from Oceanfront and Edgewater are constant reminders of the natural beauty of this unique setting.

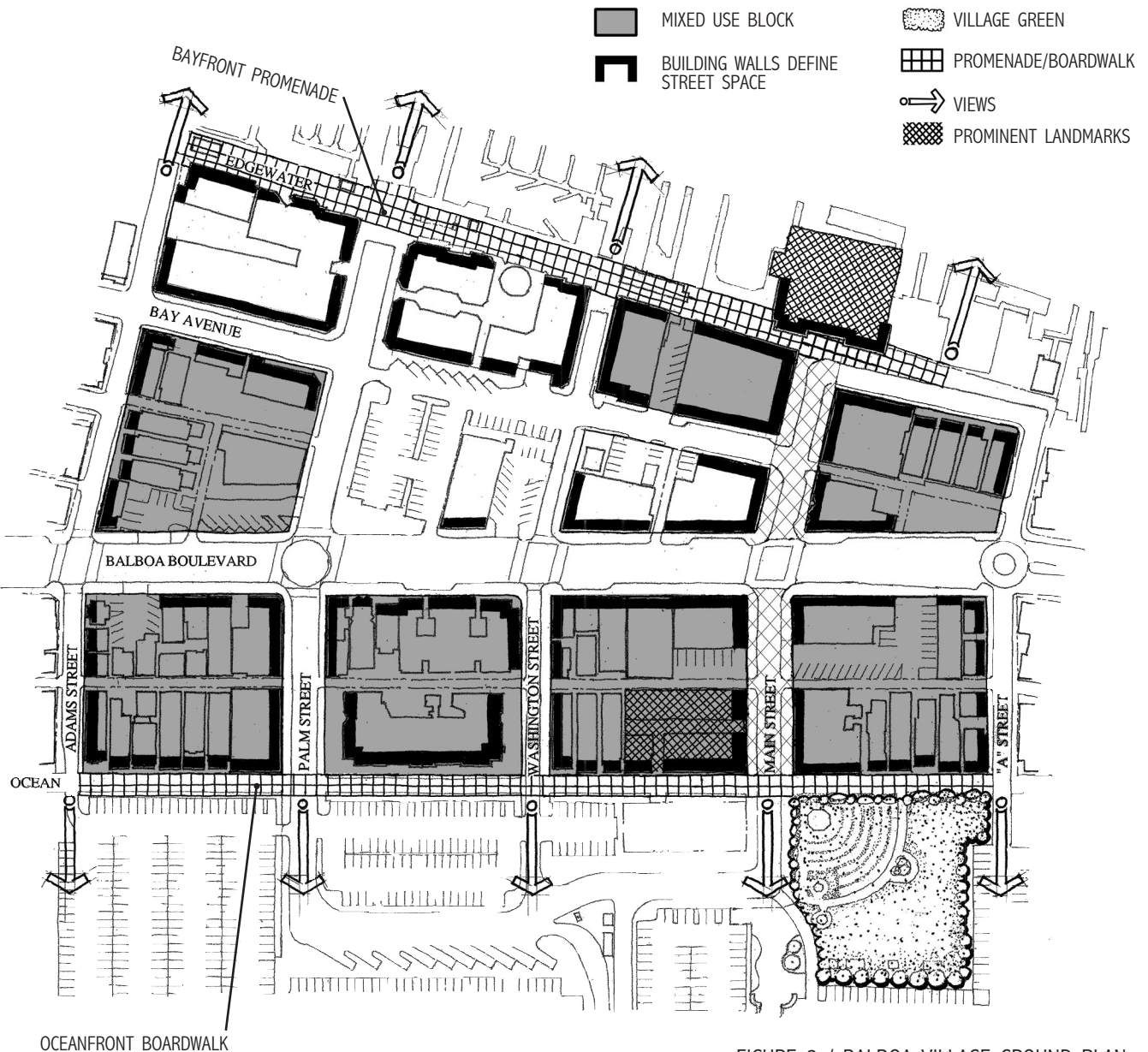


FIGURE 2 / BALBOA VILLAGE GROUND PLAN

B. Character

Balboa's character is not based on a particular architectural style or outstanding buildings. Some may say, like artist Rex Brandt who memorialized Main Street in his famous water-color, that it is bigger than any physical place, and more a feeling shared in all its parts that is as difficult to define as love. It is the combination of physical setting, mix of beach, bay and village activities, residences, and eclectic collection of buildings.

Balboa Village Character can be defined by such features as:

- Immediate access to beach and bay;
- An overall small scale compact village form composed of irregular blocks within a grid of local streets and alleys;

- One, two and three story building scale;
- A handful of landmark buildings which offer exceptional examples of Mediterranean, Spanish and Victorian styles;
- Views to ocean, bay and distant mountains;
- Pedestrian scale;
- Mix of residential, retail, entertainment, and beach and bay activities;
- Architectural details such as varied roof shapes and towers, tile wainscots on storefronts, display windows with awnings and canopies, and recessed entries.



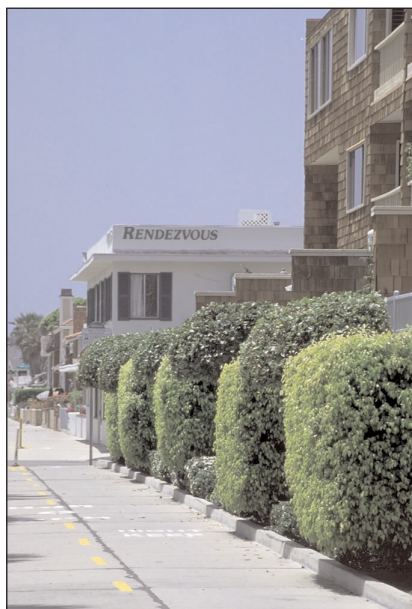
Traditional Storefront



Beach Front



Architectural Detail



1-3 story building scale



Landmark



Pedestrian Scale



Bay Front



Landmark



Mixed Use

Window Displays

Window Displays of merchandise are one of the most important impressions a business makes on the passing pedestrian. Displays should be purposeful statements of merchandise quality designed to visually attract potential customers.

- Merchandise selected for window display should be limited to items that clearly depict the range of offerings.
- Displays should incorporate color, background, props and lighting that create an appropriate image.
- Window displays should change on a regular basis to maintain a sense of surprise and interest. If displays remain unchanged, they become faded and taken for granted, and seasonal display themes are ignored.
- Display windows should not be obscured by temporary signs attached to the glass.



C. Building Design Types

Building appearance contributes to the character of Balboa Village. Many of the structures are vernacular in style, created by local builders using materials and forms common to the period and place. The value of vernacular buildings is generally inherent in groupings, rather than individual buildings, that present visually pleasing and coherent street scenes that define village spaces.

Balboa is fortunate to have several buildings which are exemplary of a particular style, and illustrate appropriate scale and architectural richness. These buildings include Balboa Pavilion, Balboa Inn, Balboa Saloon, Washington Street Cottage, Old Hardware Store (Main and Balboa), Newport Landing Restaurant, and Balboa Theater.

The building design types found in Balboa include:

Balboa Beach Cottage. This style was common in the 1920's and later. It is characterized by wood siding, both shiplap and board and batten, and gable roofs with overhanging eaves. There are few examples left within the village. The most prominent is the two-story residence and retail shop at Balboa and Washington. The retail building has a street-front addition which detracts from the simple cottage design and prominent gable roof.



Balboa Beach Cottage

Two-Part Commercial Blocks. These buildings were prevalent from the 1850's to 1950's and became the context for Main Street architecture. The ground floor provides retail space with a simple arrangement of store front windows and entry, sometimes recessed, and a separate entry to second floor space which was used for office or residence. The two-part division into distinct uses was often referred to as shop-houses with origins back to Roman antiquity. A high parapet or simple projecting shed roof hides the flat roof, and there is little ornamentation except for the original brickwork, decorative pin caps at the line of the second floor and roof, and window details. A sizeable wall area above shop windows provides space for advertising and makes the facade appear larger. Good examples are on Main Street, although layers of facade modernization (lava rock, tile, and siding) have covered the original wall material.



2 Part Commercial Blocks

Art Deco. These buildings were typically constructed in the 1930's and later. They feature smooth stucco wall surfaces, linear and curvilinear decoration and stream-line modern appearance. Strip windows are typical and sidewalk canopies or eyebrows are usually curvilinear. Towers and

other vertical elements project above the flat roof line. A good example is Bubble's at the corner of Balboa and Palm.



Art Deco

Spanish Colonial Revival. This style was widely used throughout Southern California for commercial and residential structures. Prominent characteristics including protruding window boxes and plaster bands at the window sill line and as part of the column base, arched storefront window openings, towers with tile topped cupola, wrought iron railings, heavy plaster walls with simple surfaces, tile roofs and deeply recessed windows. Examples include the Balboa Inn and Balboa Theater.



Spanish Colonial Revival

Waterfront Victorian. This style was associated with Southern California resort settings and became signature landmarks for the resorts. Its graceful lines are characterized by double-pitch roofs, intersecting gables and domed cupolas. Outdoor decks were decorated with ornate wood railings and wood braces. Half-circle windows were also a common feature as were wood eave details. The Balboa Pavilion is the primary example in Balboa Village.



Waterfront Victorian

D. Activities

Village framework and character is more than a collection of buildings. Equally important are the activities that bring life to the village. While the mix of activities has evolved since the heyday of gambling, dancing and rum-running in the 1920's, fun at the beach and bay for families is still a central theme. It is important to recognize Balboa Village as a commercial-recreation center within the residential neighborhoods of Balboa Peninsula. That means the village is surrounded by residences at each end and in much of the second floor space throughout the village.

The activity structure relates to bay and beach activities, entertainment and services for residents and visitors. (See Figure 3, Activity Structure) Because of bay access, maritime-related activities line Edgewater along the bayfront. Sports fishing, boat rentals, tour boats and excursion boats offer residents and visitors a host of maritime recreation activities. A midway character complements the bayfront mix with a fun zone offering such traditional activities as Skee-Ball, bumper cars, ferris wheel, and carousel to more contemporary computer-electronic games. Restaurants and food and beverage stands are interspersed all along the bayfront.

Oceanfront provides pedestrian access to the beach and is the focus for beach activities. This includes Peninsula Park

for informal play, picnicking, bandstand concerts and special events, residences, hotel, restaurants, parking and historic Balboa Pier for strolling, fishing and dining.

In between are the shopping streets of the village, including Balboa Boulevard, Main Street, and Palm Street. The mix of activities serves both residents and visitors and includes restaurants, retail shops and services. Two story commercial buildings provide residential uses on the second floor. This mix of activities today is changed from what it was just a decade before, when more locally oriented services and shops were available. Residents and businesses look forward to an evolutionary change that will offer a more appealing mix. The new list of activities should provide a balance between resident-serving shops and services and visitor-oriented activities. The historic Balboa Theater is scheduled to re-open soon as a performing arts center for stage and screen. It will act as a catalyst to village revitalization whereby bistros and restaurants will be attracted to serve theatergoers, as well as art galleries and boutiques. The scale, quality and diversity of shops and restaurants on Balboa Island provides a nearby model for a retail mix appropriate to Balboa's shopping streets. There is a balance of shops, restaurants and galleries that provides an interesting window-shopping experience, provides goods and services for local residents, and above all provides a social gathering place which is inviting, comfortable and attractive.

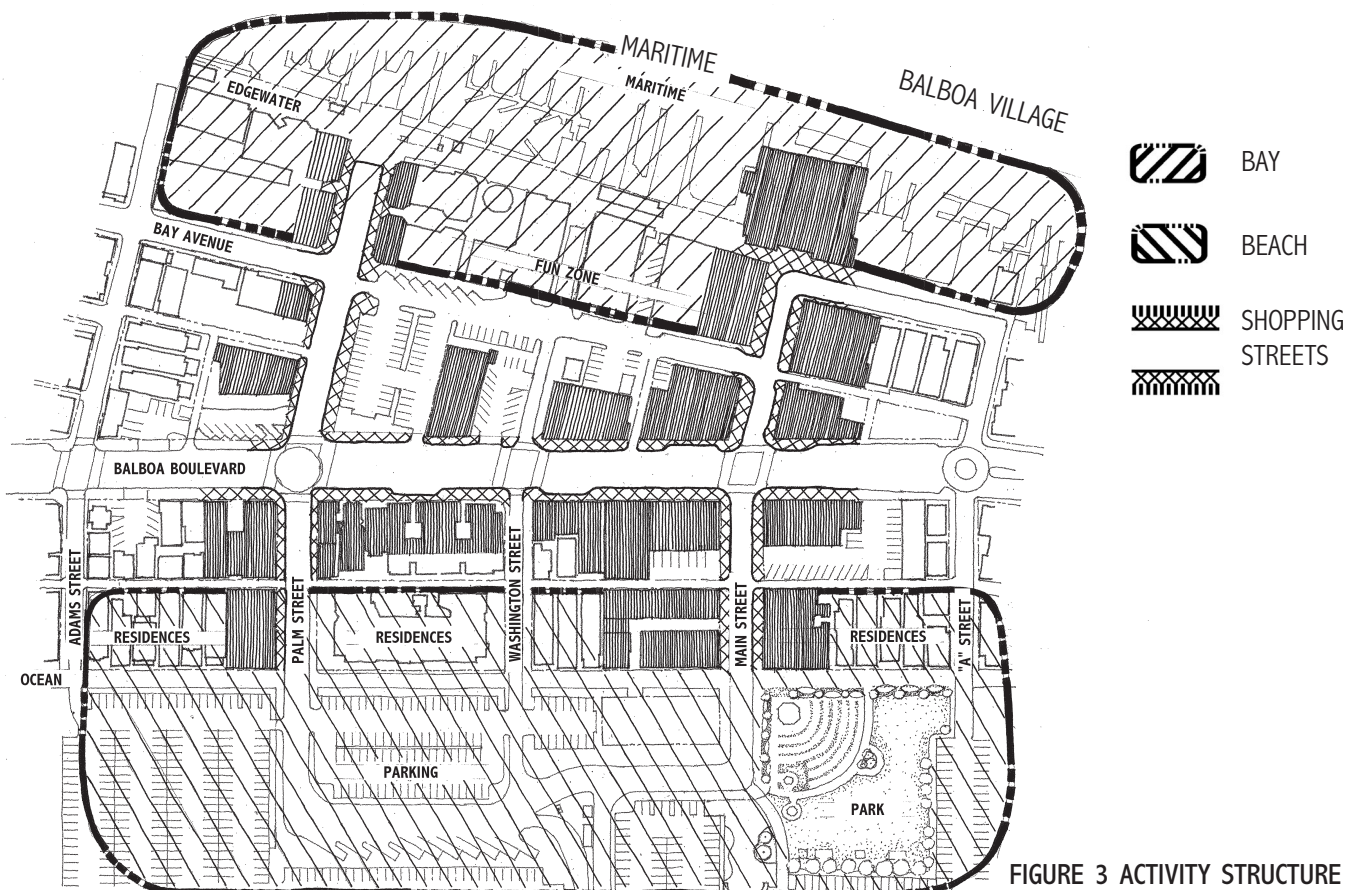


FIGURE 3 ACTIVITY STRUCTURE

E. Negative Character

Detractions to village character have occurred over time. It is important to identify them so that future changes can correct and avoid detracting elements. Negative impacts are usually caused by incongruous and loud statements to advertise a business through sharp contrast with its surroundings. Examples include the following:

- Murals which overtake the entire building;
- Awnings which in color, shape and size attempt to overwhelm or compete with their neighbors;
- Bright colors applied to the entire building wall;
- Roof shapes and colors which sharply contrast with their neighbors or the subject building; and
- Signs which are out of scale with the building.
- Minor detractions are caused by inappropriate details, unattractive display windows and lack of building maintenance.

Without appearance codes at the local level, there is no direction to enhance the physical character of Balboa Village. Clearly, it is necessary to reach an agreement on the basics of village form and character (height, scale, color, proportion, materials) and to allow them to be manipulated to create individuality which achieves a collective benefit.



Roof Shape/Color With Sharp Contrast, Bright Wall Color



Signs Out of Scale With Building



Murals That Take Over Building



Unattractive



Competing Awnings

III Design Principles for Balboa Village

Design principles are more often expressed through good examples rather than through the blunt instrument of inflexible rules and regulations. Attempts to achieve good design through regulation can become constraints rather than incentives. At the same time, however, certain basic design principles are necessary to establish a common framework for compatibility of new construction and refurbishment of existing buildings. The following design principles offer a common framework to achieve compatibility:

Village Green. The primary open space in Balboa Village is Peninsula Park, a meeting place and stage for culture and recreation. Buildings which frame the green should contribute to its ambience with animated building frontages which engage pedestrians.



Village Green

Human Scale. Most buildings are one to three stories, and no wider than a large house. The presence of many residences within the village plays a significant role in achieving human scale.



Human Scale

Quality Architecture. Although buildings represent a very wide range of styles, they should strive to be wellcrafted in their style and detail.



Quality Architecture

No Incompatible Architecture. Buildings of different styles can harmonize due to similarities in scale, roof shapes, rhythm of openings, color, and materials. Incongruous elements such as bright, loud colors, jarring roof shapes and blank walls can be eliminated through thoughtful renovation.

Inviting Streetfronts. Streets lined with attractive display windows which open the facade to view create pedestrian scale and interest.



Inviting Streetfronts

Landscape. The presence of plantings integrated with retail facades is an important step toward streetscape beautification. The recurrence of landscape on a number of facades will promote village character. Landscape elements include window boxes, sidewalk planters, decorative lattices and vines, and second floor window boxes and balcony planting.



Landscape

Landmarks and Context Buildings. Preservation of landmark buildings is vital to village character. Equally important is to treat adjacent buildings as context which are compatible with landmarks because they do not compete but present a more quiet expression of village character, with small scale, subdued colors and simple shapes and details.



Landmarks and Context Buildings

Views. Recognition of this setting is vital to expressing the essence of Balboa Village. Preserving public views toward beach and bay, providing outdoor dining overlooking bay, and providing upper level balconies overlooking beach and bay are ways to recognize the setting.



Beach and Bay

Special Features.

In this category are cupolas, towers, bandstands and fountains. These features should be established as important visual elements of village streetscape where consistent with the design principles.



Special Features

Sense of Enclosure. Street space should be well defined by buildings and trees lining the streets. Gaps in the streetscape, such as parking lots, should be defined at the edge of the sidewalk with trellises, fences or landscaping. The small blocks, narrow streets and narrow lot pattern furthers the sense of enclosure.



Sense of Enclosure

Mixed Use. The traditional pattern of ground floor retail with second floor residences or offices should be encouraged to continue. This pattern occurs throughout village blocks with frontages on Balboa Boulevard, Main Street, and Palm Street.



Mixed Use



IV Design Guidelines for Improvements to Sites and Buildings

A. Introduction

These guidelines are not a substitute for good design. Each applicant should recognize the qualities and attributes that make up the unique architectural character of Balboa and retain and promote these qualities in existing and new structures.

The guidelines address site design and building design and are organized to address two major categories of action which can be taken to improve property: improvements to existing buildings and new construction.

Improvements to Existing Buildings

There are various degrees of improvements that can be implemented to upgrade and enhance existing conditions. All should have a common design goal of creating individual building improvements that will contribute positively to Balboa's overall form and character.

Construction of New Buildings

Design guidelines for new construction encourage compatibility with adjacent buildings, and design consistency with village character. Balboa has a strong "sense of place" which needs to become more visually coherent. Buildings should relate first to human proportions and respect the scale of the buildings around them. This will lead to harmony among the parts.



B. Site Design Guidelines

1. Lot Size

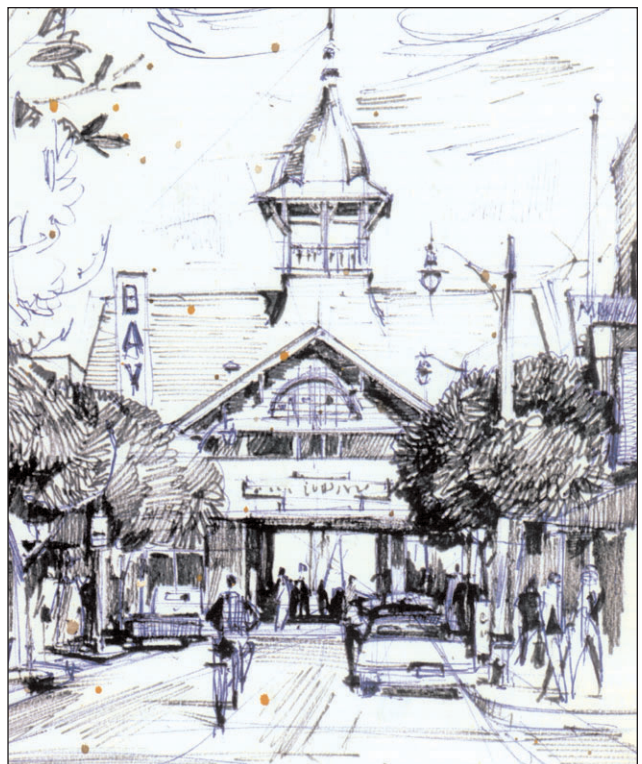
Lot size varies throughout the village. The original platting was 27 feet wide by 95 feet deep. Lot consolidation has altered this pattern to one where a combination of narrow and wide lots exist side by side, and building facades also reflect this variation.

Recommendations for Lot Size:

- Maintain the mix of narrow and wide lots, with fairly uniform depths.
- Further consolidation should require a building's facade articulation to express narrow lot frontages, from 27 feet to 54 feet, in order to reflect the historic pattern of small lot frontages

2. Setbacks

Street setbacks in the village are 0 feet for commercial uses. The general pattern is streetfront building walls set at the back of the sidewalk, which creates a continuous building wall defining the street space. Variations to this pattern include minor (less than five feet) recessed doorways and store-fronts, and some 45 degree angled entries at corner lots.



Recommendations for Setbacks:

- Maintain the historic pattern of a continuous building wall.
- Avoid siting building facades at an odd angle to the street and sidewalk, with the exception of street corners, which may incorporate angled building walls.
- Gaps in the building wall should be infilled with a continuous building wall or other appropriate element such as walls, trellises and planting.

3. On-Site Parking

Historically, parking was not provided on town parcels because of their small size, few private cars and because Balboa was served by the Red Car rail service. Through lot consolidation, some of the larger commercial uses dedicated a side or rear lot to parking. The general pattern today, however, is that parking is generally not provided on the lot, which has allowed the historic main street character of a village to evolve where continuous storefronts are rarely interrupted by parking lots.

Recommendations for On-Site Parking:

- Maintain the historic pattern of limited on-site parking visible from the street.
- Where on-site parking is provided, it should be at the rear of a lot so the street wall is not interrupted.

- Where parking lots are adjacent to the street, efforts should be made to screen them from public view by using a combination of landscape planters, walls and trellises to visually continue a "green wall" fronting the parking.
- Where there are curb cuts for parking lot access, they should be relocated to existing alley curb cuts or other places where sidewalks and parkway planting will not be interrupted.

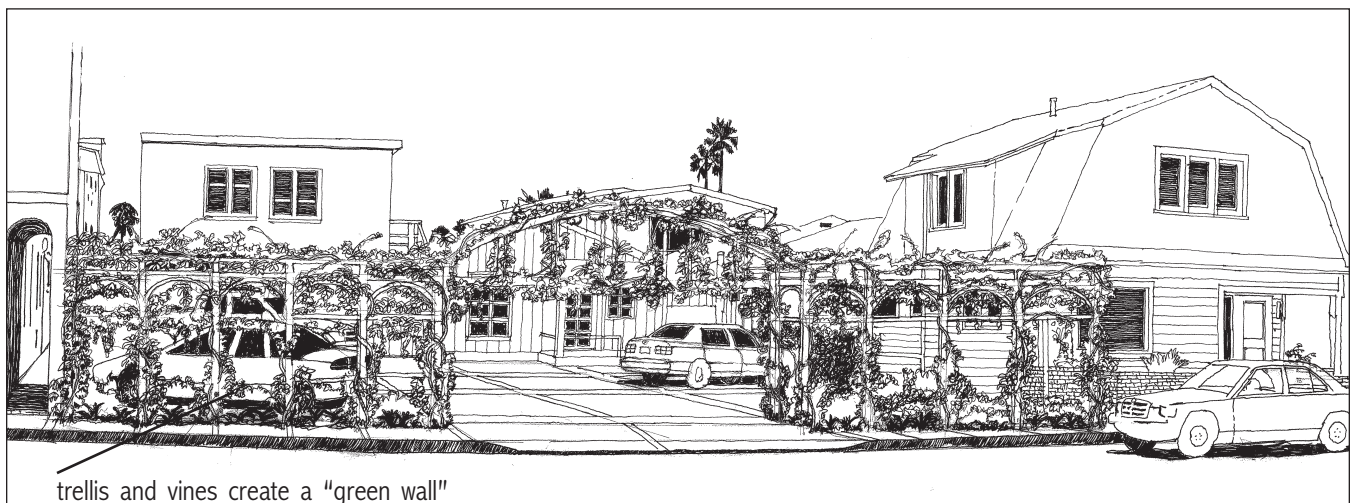
4. Site Landscaping

Site landscaping includes plants, hardscape elements and planters that are part of the street wall.

Village vernacular usually includes a variety of means whereby building frontages incorporate planting. These include window boxes attached to the facade at the ground level and upper floors, wall vines, decorative lattices and ceramic planters.

In order to enhance frontage appearance, create a garden atmosphere to complement parkway planting, and to otherwise improve the conditions of older buildings, the following recommendations should be pursued:

- Fully landscape building setback spaces with attached or free-standing planters.
- Incorporate sidewalk vine pockets with wall lattices along blank walls planted with colorful vines that become part of the building wall, and should be compatible with the adjacent architectural character.



Parking Lot Screening

- Incorporate planters into second floor balcony railings or furnish these spaces with planters.
- Wherever possible, incorporate window boxes at ground and upper floor windows. Plantings should not obscure decorative facade features, such as ceramic tile wainscots.
- All plantings are to be properly maintained in a healthy and attractive condition, including the use of automatic irrigation systems.
- For buildings with multiple store fronts or repetitive upper level windows, plant materials should be consistent and complementary for the entire building frontage.
- Utilize site and building landscaping to obscure unattractive conditions such as blank walls.

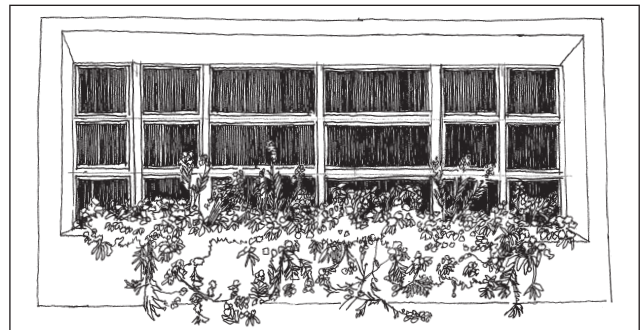
5. Alleyways

Alleys provide access to many of the properties in Balboa Village, both for garage and service access. These forgotten spaces are an often overlooked resource that could, with a little imagination and care, be made into visually pleasing spaces.

Properties abutting alleyways that are to be refurbished or involve new construction should include in the scope of work architectural enhancements, landscaping and other aesthetic improvements.



Alley Enhancement



Landscape Incorporated into Facades

C. Building Design Guidelines

The following guidelines are organized to address general design concepts and particular building elements, including;

- Building height,
- Roofs,
- Walks,
- Facades,
- Storefronts,
- Canopies and awnings,
- Doors and windows,
- Lighting
- Ornamentation
- Finish and color.

1. General Design Concepts

The following design concepts are applicable to Balboa Village buildings and should guide renovation and new construction.

Proportion is the size relationship of building elements to each other, such as width to height, window size to facade, or awning size and shape to building front. Two story buildings emphasize vertical proportion, while one story are more horizontal.



Proportion

Scale is the apparent size of a building with respect to nearby buildings and to the human body. Facades which are divided by windows and doors break up the apparent scale as opposed to a blank building front. Awnings and canopies over the sidewalk create "pedestrian" scale by their shelter and sense of enclosure. Compatible scale between adjacent buildings is achieved by similar facade divisions and height.



Scale

Massing is the arrangement of building volumes. Most Balboa buildings have simple rectangular shapes.



Massing

Rhythm refers to the repetition of facade elements, such as columns, windows, doors and awnings. A regular spacing of elements produces a regular rhythm. Rhythm can also be achieved in building groupings, such as several two story structures adjacent to each other with similar size windows and spacing. Most two story buildings in Balboa demonstrate regular rhythm in the spacing of windows.



Rhythm

Composition is the organization of building facade elements. Storefronts composed with a wainscot, picture window and transom windows above illustrate a three-part facade composition.



Composition

Compatibility is the relationship between buildings and their parts, and can be achieved through "family resemblances" and the use of similar materials, colors and details. A mansard roof placed in the middle of a group of high parapet facades is jarring to the appearance. A grouping of two and three story facades with similar floor and window lines would achieve compatibility.



Compatibility

Recommendations for General Design Concepts.

For Existing Building:

- New or replaced elements, such as doors and windows, should be consistent with the proportions of the original design so that the final composition is unified.
- Human or pedestrian scale should be maintained in Balboa. Ornamentation, canopies, awnings, doors and window openings and other elements can give a building human scale. Buildings with elements of great size are monumental in scale. Large, undifferentiated building surfaces are scaleless. Both approaches should be avoided in Balboa.
- Maintain compatibility within groups of buildings by using similar details, colors and materials.

For New Buildings:

- Simple rectangular massing should be maintained.
- Storefronts should be balanced with symmetrical proportions and emphasize openness.
- Repetition of building elements, such as window and door openings, should be consistent with the size and spacing of openings in adjacent existing buildings of character.
- Visual harmony and compatibility between buildings is encouraged; however, buildings should maintain individual character and not replicate each other.
- The scale and proportions of new construction should be compatible with rather than compete with nearby landmark buildings. Similar facade composition (walls to windows) in nearby landmarks is an especially important relationship to be emulated in new construction.

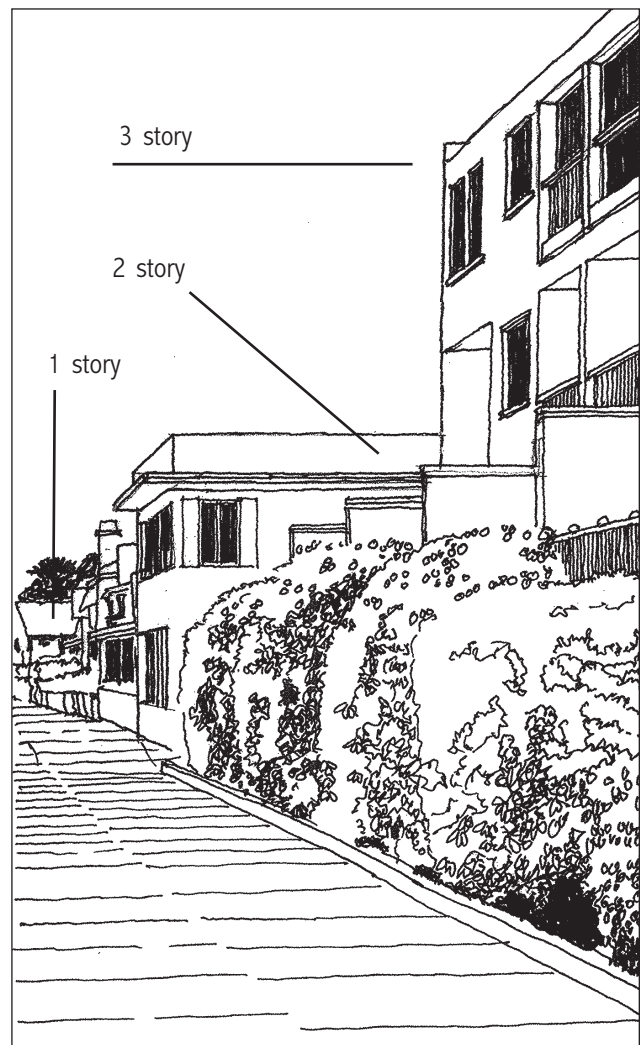
2. Building Height

The height limit for Balboa Village is 26-35 feet. The high point of a sloping roof can exceed this range by five feet. This height range thus provides flexibility to permit up to three story buildings, which is consistent with the one to three story height range found throughout the village.

Exceptions to the height range can also be considered through provisions of the Central Balboa Specific Plan #8 and use permits provided that certain findings can be made. These include consideration of open space, views, superior architecture, and compatible scale relationships to existing structures.

Recommendations for Building Height:

- For existing and new construction, the existing 26-35 foot height range is appropriate.
- Height differences between landmark buildings and nearby structures should maintain the visual dominance of the landmark, in most cases.
- The overall proportions of existing buildings should be retained, with the exception of second floor additions which achieve appropriate proportions and compatibility with adjacent buildings.



Range of Building Heights

3. Roofs

Roof forms generally impart a strong visual character to a building and often define its style. Residential buildings, which are located throughout the village, commonly have front gable and hip roofs. Commercial buildings are generally flat with a high parapet front, or a short projecting shed roof along the facade. Both the Pavilion and Balboa Inn have unique roof shapes expressive of their styles. Common roofing materials include mission tile in earth tones, shingles and built-up roofing.

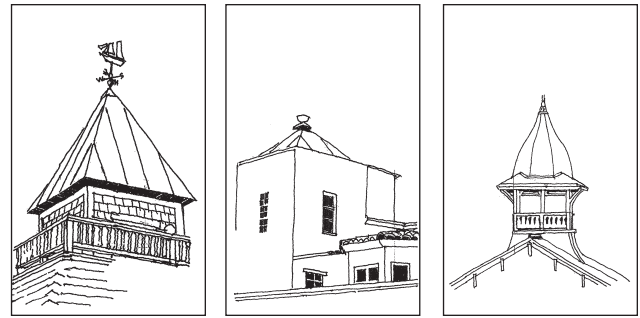
Recommendations for Roofs.

For Existing Buildings:

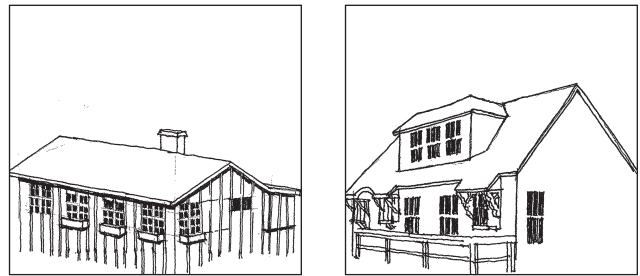
- Retain the existing shape, materials and other roof features of landmark buildings, and other buildings with special features, and maintain them in good repair.
- Where existing roofs are incompatible with their surroundings, they should be replaced to become compatible in shape, materials and color. Examples include mansard roofs on Balboa Boulevard.
- Adding new features to existing roofs, such as dormers or visible mechanical equipment, should usually be avoided.
- In residential areas of the village, gable and hip roofs should be retained and other roof shapes discouraged.

For New Buildings:

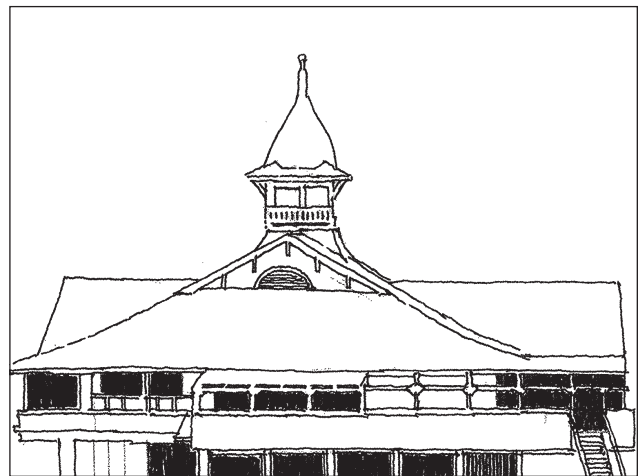
- Roof shape, material and color should be compatible with nearby landmark structures and other buildings of character.
- Avoid non-traditional roof forms such as mansard or other atypical shapes
- Flat roofs should be obscured by high parapets on the street elevation.
- In residential areas of the village, use only hip and gable roof shapes to maintain residential compatibility in scale, material and color.
- Consider roof towers at prominent intersections on Palm and Main Streets.



Towers



Residential



Beach Pavillion



Spanish Colonial

4. Walls

Wood, stucco and masonry are the common materials found in walls of village buildings. Wood is primarily used in residential structures and includes shingles, vertical Tongue and Groove and horizontal shiplap siding. Stucco and masonry are predominant choices for commercial structures. As a result of newer renovations and additions, combinations have occurred such as brick and wood siding, or various wainscots applied over the original wall. The latter include ceramic tile and stone. Often, these outer layers were attempts at modernization and sometimes result in an incongruous appearance.

Recommendations for Walls.

For Existing Buildings:

- Identify and retain wall materials which are part of the original structure. Repairs and replacement should match as close as possible to the unit size, joint size, bonding pattern and color. For Main Street, the predominant wall materials are brick, masonry, and stucco which should be maintained and employed in all improvements to retain the character and scale.
- Incongruous layers of materials which cover up the original condition should be removed and replaced with more compatible materials or those representative of the original. Wherever possible, brick wall surfaces which have been painted or covered should be returned to their original color and character. If removal of paint may cause damage to the underlying masonry, then the coating should be retained in good condition and color.
- Wainscot materials for storefront walls may include brick, ceramic tile and similar materials which contribute to the overall character of the facade. Tile wainscots should be considered as a unifying theme for commercial buildings on Main Street and Balboa Boulevard, and replace existing tile which is incongruous.
- Stucco repairs should be accomplished by removing damaged material and patching with new material that matches the old in texture and strength.

For New Buildings:

- New construction should use exterior wall materials that are compatible with nearby existing structures. Compatible materials include masonry, stucco, wood shingles, and wood siding (vertical board and batten or

horizontal shiplap), and decorative ceramic tile for wainscots. Incompatible materials include aluminum or vinyl siding, fake stone or brick veneer, plywood siding and any materials with reflective or shiny surfaces.

- The characteristics of the wall finish should be compatible with nearby landmark buildings and older buildings to be retained. Wood siding should have a similar orientation and board spacing. New masonry should have bonding patterns and mortar joints that emulate existing conditions.

5. Facades, Storefronts, Canopies and Awnings

The term "facade" refers to the front elevation of the building. This public face is typically more embellished than other elevations. Traditional storefront commercial facades have a great deal of variation, however basic elements include the storefront and the upper facade. The upper facade often employs a high parapet or false front to create additional height to give the building importance. Where commercial buildings are two story, the upper floor is residential or office with regularly spaced window openings, sometimes embellished with framing details and planter boxes.

The storefront is composed of display windows, sometimes topped by transom windows. Multi-paned windows further divide the scale of the facade as opposed to large single panes of plate glass. The panels below the display windows are termed bulkheads or kick plates, and have often been covered up with an added layer of material, such as stone veneer or ceramic tile.

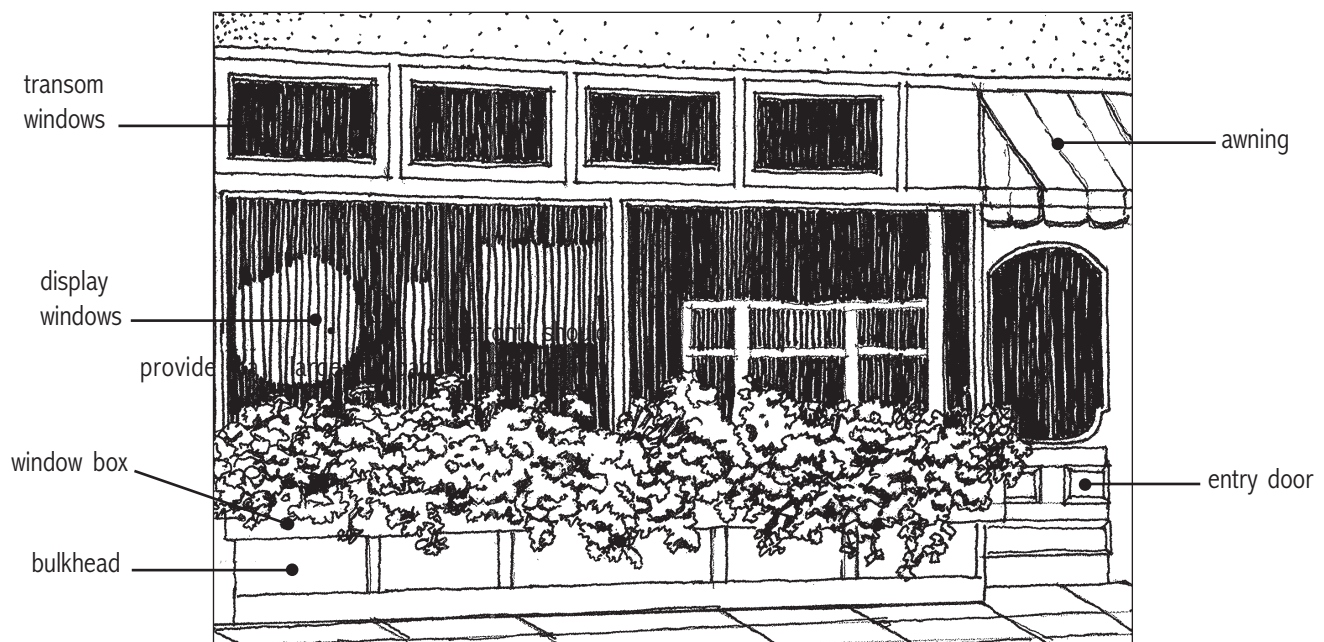
A fixed canopy is a common element of storefronts to provide shade and shelter over entrances and windows. Canopies generally run the length of the facade, with an average clear height of eight to ten feet to the underside of the soffit. The canopies are wood or metal framed and sheathed with a solid roofing material. Sometimes lighting is built in, either strip lights along the eave or down-lights recessed into the soffit.

Awnings are an alternative to canopies in providing shade and shelter. However, their application to the facade is quite different. A variety of shapes are common, including traditional, domed, shed and retractable. They are light weight and can incorporate signage in the face or valance portion of the awning. It is common for awnings to extend for only a portion of the facade, or to have several different awning shapes and colors on a single building, often presenting a confusing and uncoordinated array of shapes, sizes and colors.

Recommendations for Facades, Storefronts, Canopies and Awnings.

For Existing Building:

- Identify, retain and preserve the original functional and decorative features of the facade and storefront. If possible, peel back added layers and return to the original character.
- Do not introduce "imitation" elements, such as coach lanterns, mansard overhangs or small-paned display windows unless they can be documented as appropriate to the facade.
- New storefronts in existing buildings should be compatible with the size, scale, materials, color and proportion of the existing building.
- All storefronts should reflect traditional parts, including bulk head, rectangular display windows, vertical piers, transom windows, horizontal wall space for primary signage and parapet or second floor with regularly spaced windows. Arched or rounded display windows may be appropriate for particular architectural styles, such as Art Deco.
- The storefront should be located in the plane of the front facade with no major projections or angled walls. Entrances may be recessed and planter boxes are encouraged as integral parts of the storefront.
- Approximately 60% percent of the storefront area should be transparent. When less window area is desired, blinds and interior curtains should be used. Entrance doors with transoms and sidelights are appropriate and enhance facade transparency.
- Generally, wood is an appropriate material for window frames since it can be painted or stained to provide a color accent. If aluminum exists, it should have a dark finish. Aluminum or vinyl are not recommended for traditional storefronts because they limit the range of colors for accents.
- Non-original storefronts which have their own unique character should be kept in good repair and be respectful of the character of adjacent buildings.
- Wherever possible, original canopy designs should be incorporated in building improvements, such as the Balboa Inn.
- A continuous canopy line along the facade length may be desirable. It should retain the shape and proportions of the existing and be compatible with adjacent buildings. Finished soffits with recessed lighting or incandescent lighting along the eave are recommended. Thin, flat-pitched canopies with gravel roofs should be avoided.
- Canopies may project over sidewalks as long as they are set back at least two to three feet from the curb face and do not interfere with street trees and sidewalk furniture such as street lights.



Storefront Design Elements

For New Buildings:

- Storefronts of new commercial buildings should be compatible with nearby existing buildings. Traditional storefront features should be emulated (bulkhead, end piers, transom windows) and display windows should be at least 24 inches above grade. Bulkhead materials may be consistent with the facade wall material or employ a contrasting decorative material such as ceramic tile. Recommended tile designs include bright colors of blues, greens and black and softer light blue and yellow, and natural unglazed, dense quarry tile or glazed in matte or gloss colors. Solid colors and interlocking patterns should be considered.
- Use of canopies or awnings is encouraged to provide shade and shelter for pedestrians. Wherever possible, they should employ one consistent style and extend the full length of the building or display windows and entrances. The canopy or awning height should be aligned with adjacent buildings, where possible.
- Storefronts should provide approximately 60 percent of their surface area in transparent display windows.
- Aluminum frames for display windows and doors are generally discouraged, but may be allowed if they have a dark finish and are more consistent with the new structure than framed windows and doors with a contrasting trim color.

The following guidelines address awnings, and are applicable to existing and new buildings:

- The size of awnings should be proportional to the scale of a building and the surrounding streetscape. A significant portion of the facade and parapet should be visible at either end of the awning to provide a visual frame.
- For buildings with multiple storefronts, it is preferable to have one continuous awning the full length of the building, or the same shape and color awning installed over repetitive storefront windows.
- Where existing canopies are to be retained, they should not be combined with awnings or fabric valances, which creates a confusing appearance.
- Traditional shaped awnings are preferred. These are simple sheds with a 4:12 pitch or greater, may have closed ends, and have a straight valance. Domed shape awnings are not recommended unless they are compat-

ible with the building style or shape of display windows.

- Solid color or broad stripe patterns on awnings are preferred.
- For facade continuity on a building, awnings should be a consistent height and depth.
- The following awning features are to be avoided:
 - Backlighting
 - Vertical sign-front style
 - Use of metal
 - Shiny materials such as high gloss vinyl or bright colors
 - Flowered or other patterns



Traditional awning shapes



Deep recesses reflect scale of adjacent cottage



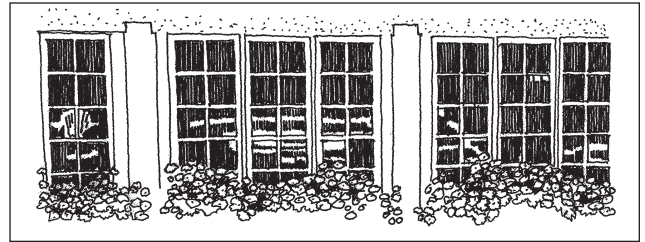
Ground floor in line with adjacent 1 story building, 2nd floor recessed

6. Doors and Windows

The front door is one of the most important elements of a building facade. Doors are characterized by their operation and materials, such as hinged, swinging, and metal or wood. Doors are typically solid or glass in various paneled arrangements. Balboa storefronts favor glazed doors which contribute to facade transparency. Multi-light doors are associated with early Main Street building styles. In new or remodeled storefronts, narrow aluminum frames are common, while older commercial buildings and residences generally retain wood frames and casings. While there is a variety of window shapes and sizes in Balboa Village, the main types are plate glass and double-hung. Residential window types include casement, awning and sliding windows. The rhythm of window openings plays a significant role in a building's appearance. Singles, pairs and triplets are common. In most cases, windows are taller than they are wide. Clear glass is the most common material, although there are a few examples of colored glass.



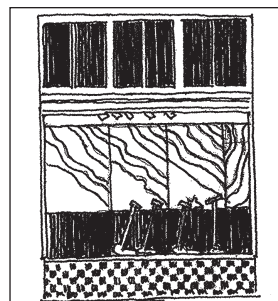
Inviting Front Door



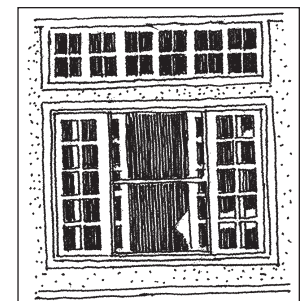
Small Lite



Casement



Plate



Wood Sliding

Recommendations for Doors and Windows.

For Existing and New Buildings:

- The functional and decorative aspects of doors and windows should be identified and retained where they make a positive contribution to the building. Features to consider include frames, sash, muntins, glazing, sills, heads, jambs, moldings and door hardware.
- New or replacement doors and windows may be accurately restored using historical, pictorial, or other research. New designs should be compatible with a building's character.
- Original door and window openings should not be reduced or enlarged to install stock-size units. When dropped ceilings are installed, they should be set back from exterior openings to avoid cutting across the openings.
- Doors and windows should be recessed away from the outer wall surfaces.
- Doors to retail shops should emphasize openness by incorporating approximately 75% of the area to glass.
- Existing recessed doorways should be retained.
- Large, continuous expanses of glass without careful detailing should be avoided. Glass areas can be subdivided by mullions, panes, or decorative millwork to create human scale.
- Tinted glass can be used to reduce solar heat gain provided it allows views into the retail shop. Reflective glass should be avoided.
- Additional openings should not be cut into the street facade, unless they are compatible with the overall building character.
- Jalousie windows should not be used on front facades. Avoid windows with reflective coatings, aluminum frames, and diagonal pane divisions.
- New construction should blend with the proportion and rhythm of windows and doors in surrounding buildings which positively contribute to village character.
- The pattern, size and type of window and door openings should be appropriate to the character of the building. Avoid jalousie windows, reflective coatings, and aluminum frames.
- Doors and windows in facade openings should be recessed away from the outer wall surface to suggest the thickness of traditional masonry walls.



7. Lighting

The exterior lighting on buildings is an important element in establishing overall village character. Traditional lighting included incandescent fixtures mounted on the underside of canopies, on the front facade or wall lights of ornamental metal and glass. Architectural features of a building are also the subject for lighting. Tower elements and unique roof profiles are often outlined by lighting. Examples in Balboa include the Balboa Pavilion, where lights outline the double-pitch roof form and the distinctive cupola.

Recommendations for Lighting.

For Existing Buildings:

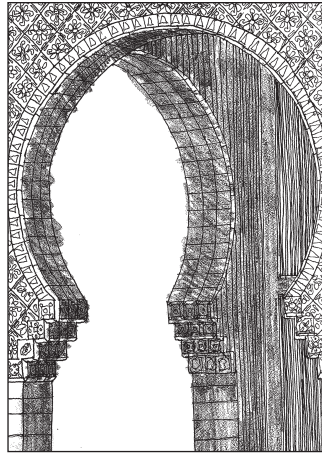
- New or replacement light fixtures should be based on surviving prototypes, or on fixtures typical of the period or style. Incandescent fixtures were typical; however, energy efficient metal halide (color corrected) and halogen quartz fixtures may be used. Fluorescent fixtures are not recommended for the exterior unless shielded,
- The lights on the underside of canopies should be replaced or added, using small incandescent bulbs spaced between 12 and 24 inches to illuminate the storefront and sidewalk.

For New Buildings:

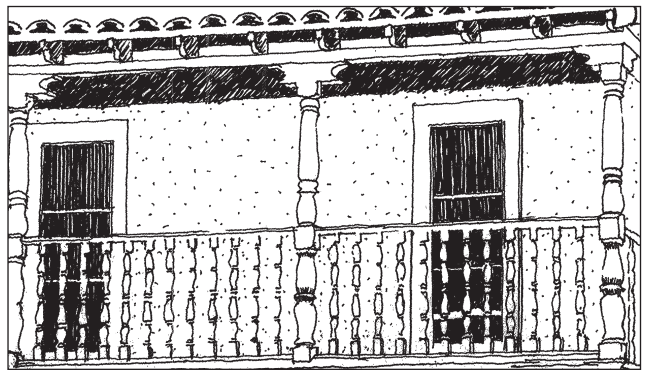
- Exterior lighting levels should not compete with that on existing nearby buildings.
- Incandescent bulbs are preferred, or shielded fluorescent fixtures.
- Unique architectural features should be highlighted with exterior lighting.

8. Ornamentation

Ornamentation on most Balboa Village buildings is quite simple. It includes cornice line details, material texture, decorative railings, unique window shapes, and cast column capitals.



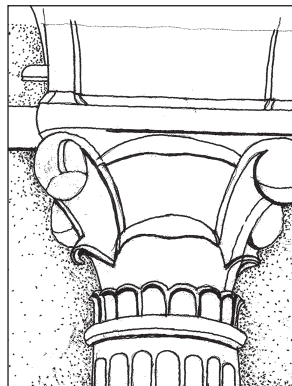
Village Ornamentation



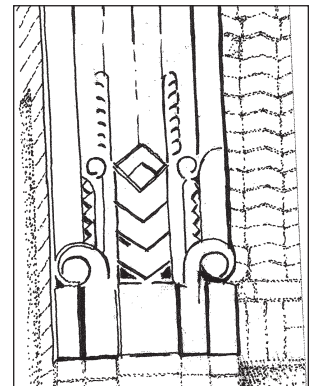
Balcony



Wood Screen



Column Capital



Cast Stone

Recommendations for Ornamentation.**For Existing Buildings:**

- Wherever possible, the original details of the building should be uncovered or replaced with a compatible substitute. Ornaments should not be added that are not authentic or detract from the building's character.

For New Buildings:

- Ornament should be employed to enrich architectural character. Appropriate areas for ornamentation include: the parapet/roof interface, structural supports, and corner, door and window trims.
- The shape, color and texture of details should echo, but not duplicate, those on nearby structures of character.

9. Finish and Color

The majority of buildings in Balboa Village have painted exterior finishes on wood, masonry or stucco. Most buildings have a relatively subdued color scheme. Original colors for Village buildings were grey, white, blue trim, unpainted red brick, beige, ochres and muted reds. Recently painted buildings have used earth tones for the body and contrasting blues or rust for accents or a complementary beige. Visible roofs are terra cotta mission tile or grey composition shingle.

The color of a storefront and/or building establishes a mood and feeling about the district. It reinforces individuality of the building and its relationship to the block and village. In Balboa Village, there is no thematic color scheme just as there is no thematic architecture. Main Street probably comes the closest to a thematic character based on two story brick buildings painted with light colors, predominantly white.

Recommendations for Finish and Color.**For Existing and New Buildings:**

- Colors of landmark buildings need not be original, unless restoration is intended. Colors should be appropriate to the historic style of the architecture. Wherever possible, feasible and appropriate paint on brick buildings should be removed.

- Colors should be muted earth tones and bright hues should be avoided. Paint color should be used to highlight architectural form and details. Color selection should show evidence of coordination with the colors used on the block and adjacent buildings. They should be compatible and complementary, but not identical.
- Five colors should be considered - for base, walls, trim, roof and architectural details. Dark colors are best for the base of a building. The body of the building should be lighter than the base and limited to one main color. Where there are canopies or awnings, the wall color above and below should be the same. Building trim should be a contrasting color, yet coordinated with the base and body colors. The roof color, where it is visible, should be coordinated with the base, wall and trim colors. The colors of architectural details should also be coordinated with the facade scheme.

Typical Color Schemes:

- Base - Dark earth tones
- Body - Light earth tones, off-whites (ivory, Navajo) or light pastels
- Roof - Earth tones
- Trim - All colors, including intense saturated hues in small areas
- Details - All colors, appropriate to the overall color scheme

Colors Not Recommended:

- Highly reflective
- Large dark surfaces
- Large areas of dark glass



- High gloss paint is not appropriate, except for trim and accents.
- Where a commercial building has more than one store front, the building should have integrity of color. Color should not be used to subdivide the building to reflect the storefronts, unless there are architectural divisions that create the appearance of separate buildings. Similarly, the side elevations should be painted consistently with the main facade.
- Stone or tile surfaces shall not be painted. Choice of color on the adjacent wall surface should be compatible with the stone or tile.
- Paint on wood should be maintained to protect it from ultraviolet light and moisture. Compatible paints should be chosen and the manufacturer's instructions followed.
- The colors for newly constructed buildings should be chosen to avoid competing with colors of nearby landmark buildings or older buildings of character that will remain. The color scheme should be designed to highlight similar elements in old and new buildings. For example, if existing buildings have contrasting trim colors, a similar pattern should be followed in new construction.

10. Additions to Existing Buildings.

Building additions are a small part of Balboa's eclectic expressions, and are a future possibility in certain situations. In most cases, additions would occur to add second floor space to an existing one story structure.

Recommendations for Additions to Existing Buildings:

- Consideration of new construction should be given equal weight to adding a second floor, unless the existing and addition can be melded into one unified character.
- The design of contemporary-style additions which are compatible with landmark and older buildings is possible. Sensitive additions consider scale, proportions, materials, detailing and color.
- Additions on parcels adjacent to landmark structures shall be designed to be compatible with the historic architectural style.

11. Signage

The City of Newport Beach regulates signs through its zoning code. Specifically, Chapter 20.67 and the recently adopted Balboa Sign Overlay ordinance govern signage. Included is an amortization program whereby non-conforming signs are encouraged to be removed and replaced by appropriate conforming signs. A five year incentive program provides design and financial assistance to owners.



Appendix I

Facade Renovation Concepts

The following section consists of facade renovation concepts for four sections of Balboa Boulevard, which demonstrate the application of the Design Guidelines. They are intended as illustrations only and describe one possible set of design solutions to existing facade conditions. The common theme in the illustrations is to recognize the positive attributes of each building and incorporate them into the design solution.

It should be emphasized that these illustrations explore only one possible approach to applying the Design Guidelines. A range of alternatives should be considered which are appropriate to property owner or tenant requirements.

In summary, the facade renovation concepts are illustrations only which are intended to:

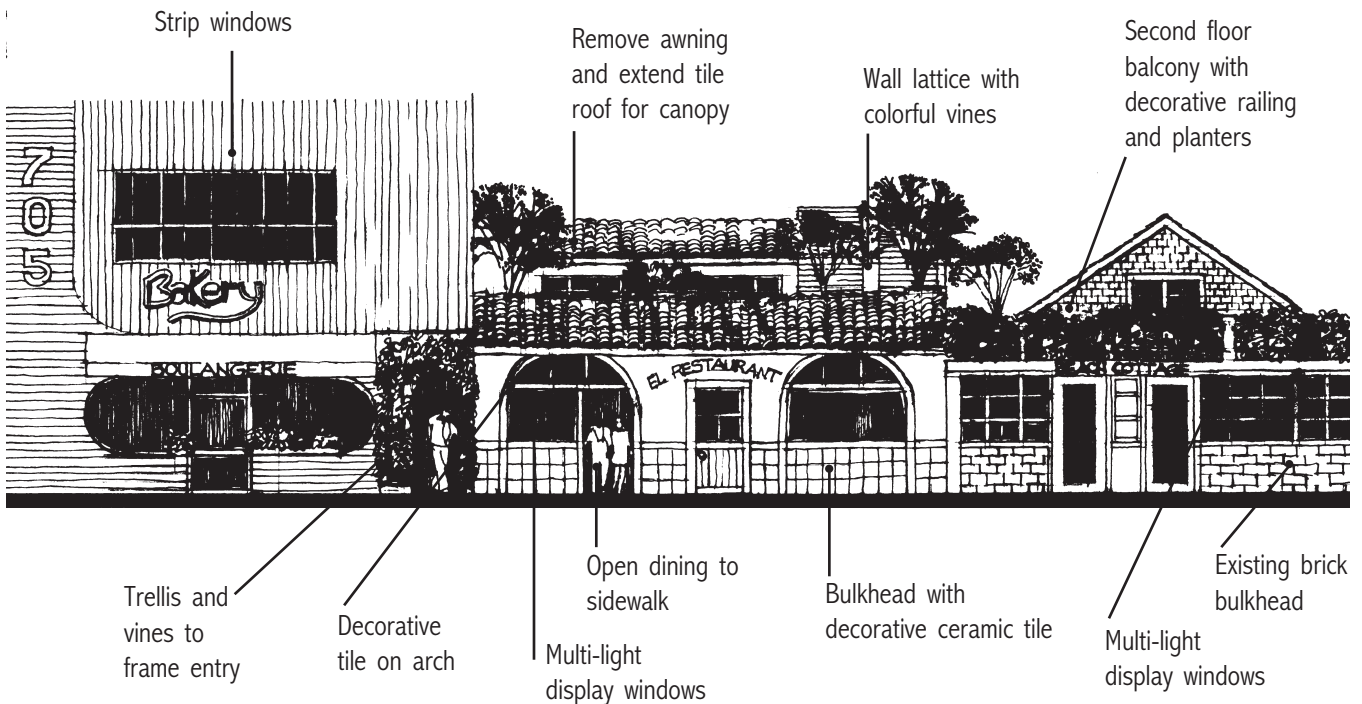
- Demonstrate acceptable design treatments for groups of buildings along Balboa Boulevard;
- Stimulate the imagination of various community interests about creative design solutions for existing facades;
- Enable property owners, tenants and the community to visualize how village appearance can be enhanced by applying the Design Guidelines.

The facade renovation concepts are presented on the following pages along with a photomontage of the existing facade conditions.





Existing Conditions



Facade renovation concepts 1

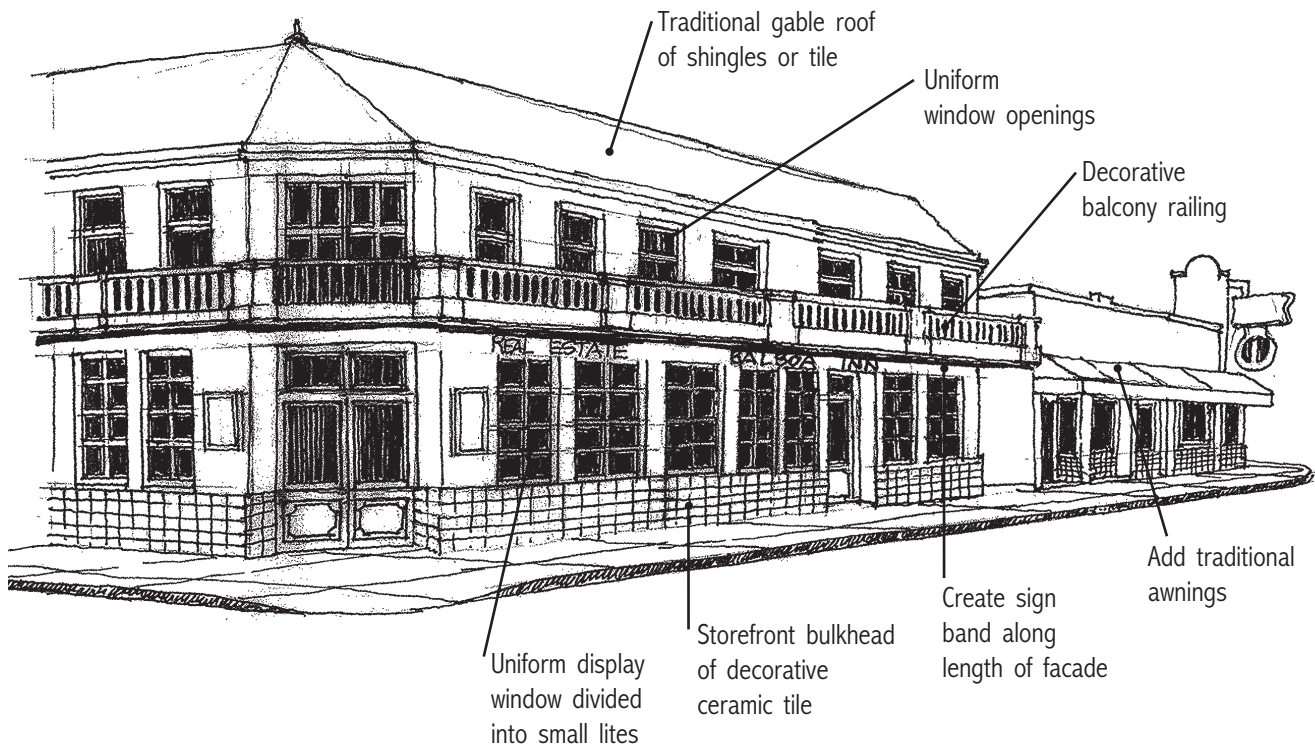
1. Balboa Boulevard and Washington, Southeast Corner

The primary objective is to make minor modifications to existing facades that will emphasize the positive features of each, including the Balboa Beach Cottage Style building, mission tile roof, and brick facades.

- Provide a common sill height for display windows
- Utilize decorative materials such as tile and brick for the bulkheads
- Provide multi-lite display windows and doors
- Replace awnings with wall signs in a sign band, and extend mission tile roof over sidewalk as a canopy, and
- Incorporate landscaping into facades, such as vines on balcony railing, second floor roof plantings, and window boxes and lattice with vines.



Existing Conditions



Facade renovation concepts 2

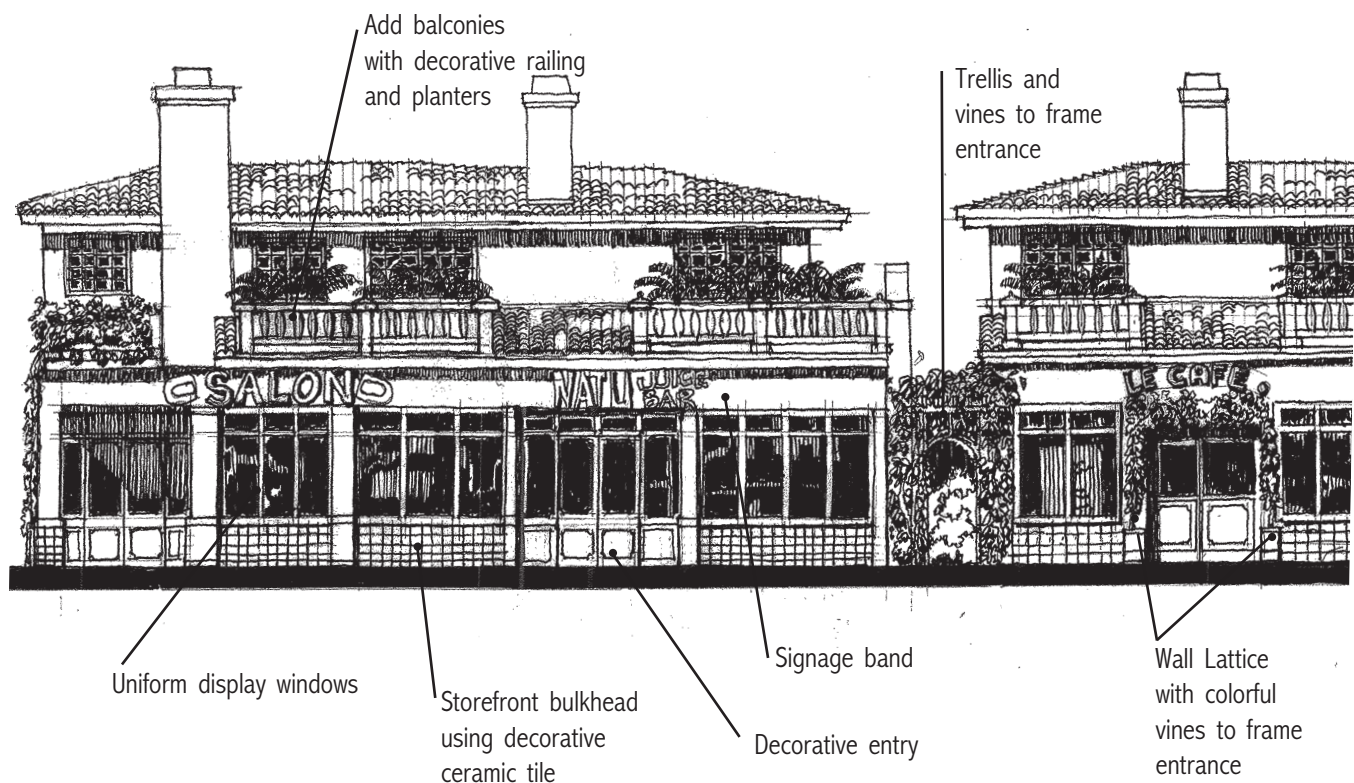
2. Balboa Boulevard and Washington, Northeast Corner

The following improvements are suggested to unify storefronts and provide a common roof shape.

- Replace mansard roof with a traditional gable roof, and consider adding second floor office or residential space incorporating an overhanging balcony with decorative railing
- Establish a common sill height for display windows
- Use a decorative material, such as ceramic tile, for the bulkheads
- Use a common window size and decorative entry doors, and
- Replace existing flat canopy with traditionally shaped awnings



Existing Conditions



Facade renovation concepts 3

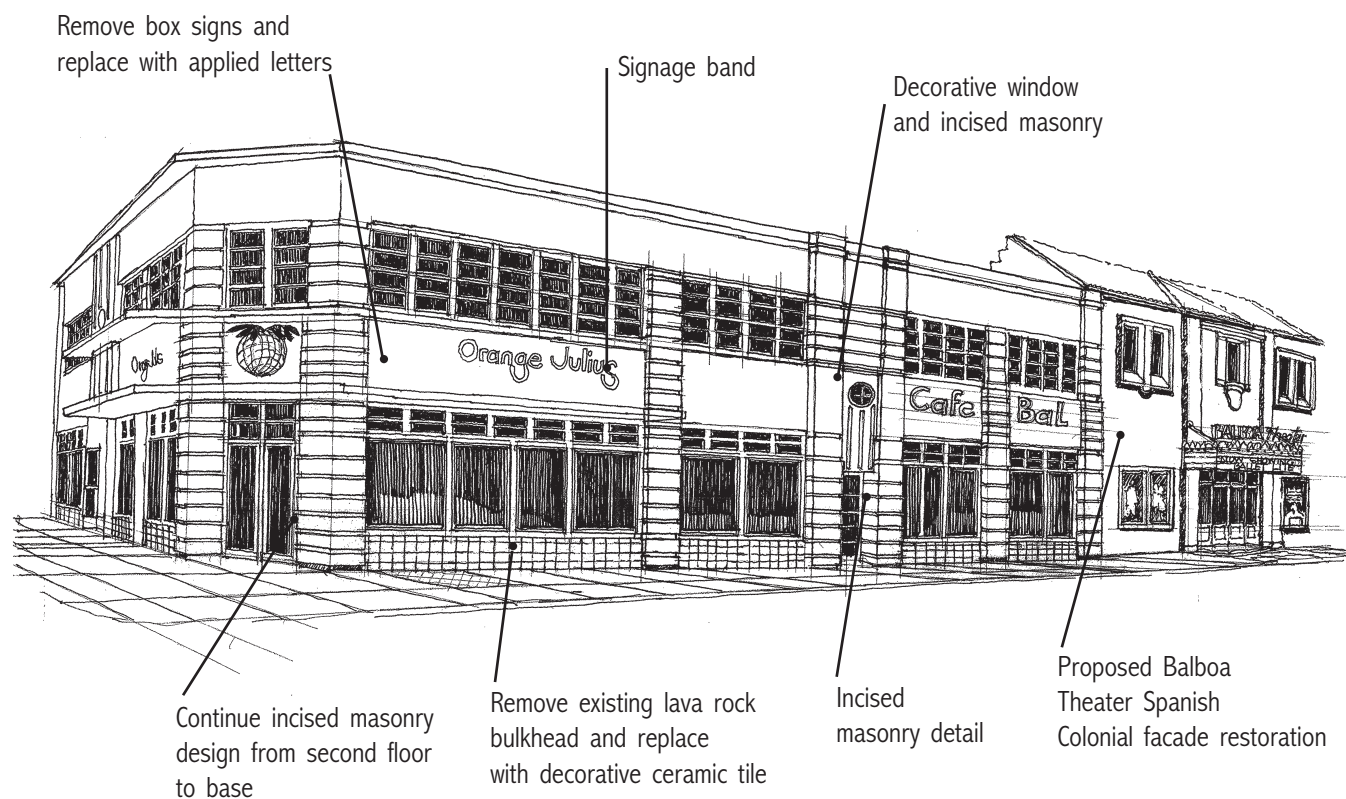
3. Balboa Boulevard and Washington, Southwest Corner

Improvements are suggested that address the uncoordinated collection of awnings, incorporate landscaping into facades, and unify storefronts.

- Establish a consistent bulkhead height and use of a common material such as decorative ceramic tile
- Introduce a common storefront window
- Provide decorative entries with a similar design treatment
- Replace awnings with a sign band and wall signs
- Provide second floor projecting balconies with decorative railings
- Incorporate planters into second floor balconies both for privacy and to beautify facades
- Add ground floor lattices with colorful vines wherever possible around entrances



Existing Conditions



Facade renovation concepts 4

4. Balboa Boulevard and Washington, Southeast Corner

The basic approach to these facades is to recapture their positive design features, including strong horizontal ribbon windows, incised masonry detailing, simple wall signs on a sign band, uniform storefront windows and simplified palette of wall materials.

- Remove box signs, lava rock and wood veneers to simplify appearance
- Establish common storefront bulkhead and window pattern with transoms
- Use wall signs on sign band above storefront windows
- Emphasize incised masonry pilasters by incorporating them into the ground floor facade